ACACIA
ELEMENTARY

CVUSD|*Facilities Master Plan*

ACACIA SCHOOL

ACACIA ELEMENTARY SCHOOL
A SCHOOLWIDE ENRICHMENT
MODEL SCHOOL
10/12   NO SCHOOL
10/17-21 PARENT TEACHER
CONFERENCES DISMISSAL 12:30
HAPPY BIRTHDAY
DENVER VAUGHT TAYLOR CROW

Acacia Elementary School I *Survey*

55 W Norman Ave I Thousand Oaks, CA 91360

Conejo Valley Unified School District

December 9th, 2016

CVUSD
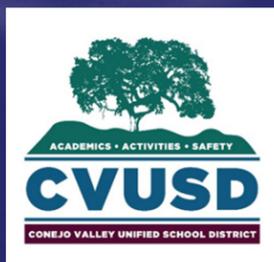CONEJO VALLEY UNIFIED SCHOOL DISTRICT
ACADEMICS • ACTIVITIES • SAFETY

Existing Site Summary

Neighborhood:

Acacia Elementary School is located in the City of Thousand Oaks on a 11.35 acre site bound by Dover Avenue (West), and West Norman Avenue (South). The major intersection is West Janss Road and Dover Avenue. The 23 freeway runs immediately East of the campus.

Instruction:

The school serves TK through 5th grades. The campus includes a school wide enrichment model for all students which allows children to peruse different areas of interest. The school has a diverse demographic mix with 50 percent of the student population being Hispanic and 40 percent Caucasian and 10 percent other minorities. In addition there are 2 special education classes.

Summary of Facilities:

The main core buildings on the campus were built in 1963 with a brick façade and soft brown tone accents. The campus has a very distinct look in the district that is very pleasing to see and experience, with large trees and green space throughout the entire campus. An enjoyable assembly building provides space for student activities. Additional classroom modular buildings remain on site today. No major construction of buildings has occurred after the 1960's. However, the school has received a substantial technology upgrade and now provides Wi-Fi and promethean boards in all the classrooms as well as classroom computers and Chromebooks, offering a dynamic and cutting edge teaching environment.

There is great community involvement on the campus including onsite PTA and an existing park and rec partnership which has after school programs on Tuesdays. The back gate is open on the weekends for softball.

Building Systems:

The major building systems are original including, water, sewer and gas and are in working decently for their age. The HVAC system is roughly 17 years old and operating without too many issues however due to its age it is in need of a major overall or replacement within the next 10 years.

Technology:

The site includes the Wi-Fi in every classroom, as well as promethean boards (interactive projection screen boards) and chrome books for the students to use in every classroom. The campus makes an effort to be on the cutting edge of technology advancements in curriculum tools to enrich the lives of the students.

Energy:

The existing air handling units and cooling towers working nicely. While they can be replaced with newer more efficient systems they are functioning well and should not be needing replacement in the near future. There is an opportunity for solar electric power generation to reduce the carbon footprint of the school.

The campus has energy efficiency upgrades including LED lighting and occupancy sensor lighting that helps to improve the overall sustainability of the site.

Site Attributes:

- Buildings have been well maintained and the structural condition of most of the buildings is in good condition.
- Well Planned Courtyards with Large Mature Foliage
- Large Auditorium / Multi purpose space with stage and wheel chair lift
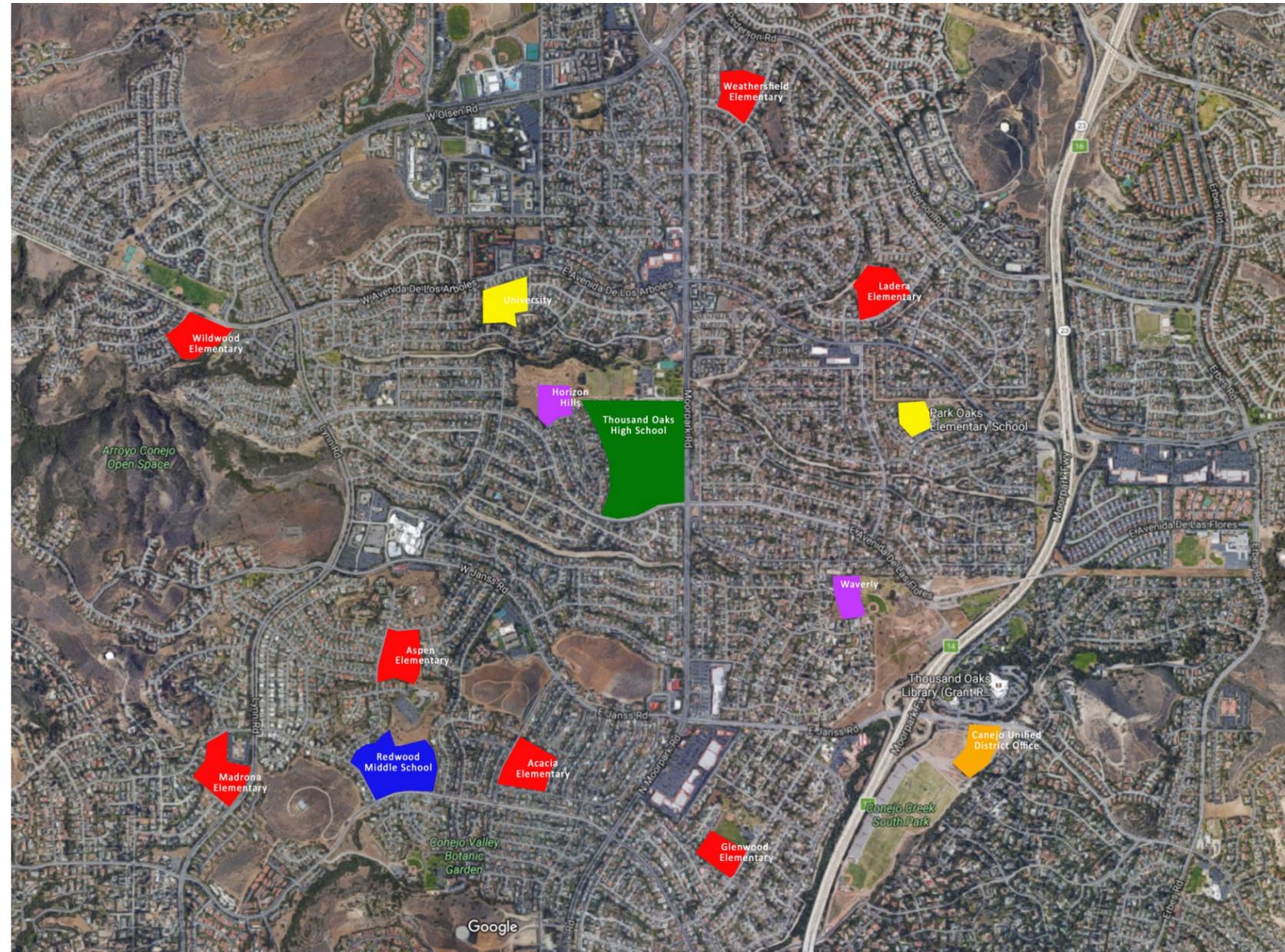- Durable Brick Facade that shows minimal fading or degradation.

Site Deficiencies:

- Concrete Slab Lifting / Settling Issues in Multipurpose Building and Exterior Walkways
- Some fencing is in poor condition
- Playground Equipment and surfaces do not meet current safety and accessibility requirement.
- Large wall in front of office obstructs views to parking area
- Portable Building is in need of deferred maintenance
- Damages and cracks on interior finishes in Multi-Purpose building due to ground settlement.
- Drainage and ponding issues between building 3 and 4
- Basketball court A.C. paving is in poor condition.
- Lack of shading on the playground.

Acacia Elementary School I *Survey*

55 W Norman Ave I Thousand Oaks, CA 91360

Conejo Valley Unified School District

December 9th, 2016

Table of Contents & Executive Summary

CVUSD

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CVUSD Thousand Oaks Cluster

Imagery ©2016 Google, Map data ©2016 Google   1000 ft

Legend

- 🟥 Elementary School
- 🟦 Middle School
- 🟩 High School
- 🟪 Other (Adult Education, Early Education)
- 🟨 Charter, Non K-12
- 🟧 District Office

CVUSD Thousand Oaks Cluster Sites

LOCATION CODE	SITE NAME	SCHOOL MANAGEMENT SERVICES SITE TYPE	GRADE LEVEL CONFIG
1 010	ACACIA ELEMENTARY	Elem. School	TK- 5
3 020	ASPEN ELEMENTARY	Elem. School	TK- 5
13 080	GLENWOOD ELEMENTARY	Elem. School	TK- 5
14 090	HORIZON HILLS	Pre K, Adult ED	MISC.
15 100	LADERA ELEMENTARY	Span Magnet	K- 5
18 120	MADRONA ELEMENTARY	Elem. School	TK- 5
23 170	PARK OAKS (BRIDGES)	Elem. School (Charter)	K- 5
24 180	REDWOOD MIDDLE SCHOOL	Middle School	6-8
27 200	THOUSAND OAKS HIGH SCHOOL	High School	9-12
29 220	UNIVERSITY	Elem. School	TK-5
31 240	WAVERLY	Adult ED / Special ED	MISC.
32 250	WEATHERSFIELD ELEMENTARY	Elem. School	TK-5
36 290	WILDWOOD ELEMENTARY	Elem. School	K-5
12 000	DISTRICT OFFICE	NA	NA
14	Totals Sites	.	

Community Resources

DESCRIPTION	LOCATION	CITY
Thousand Oaks Community Ctr.	2525 N Moorpark Road	Thousand Oaks
Thousand Oaks Community Park	2525 N Moorpark Road	Thousand Oaks
Conejo Valley Shopping Center	Moorpark Road	Thousand Oaks
Conejo Valley Art Museum	197 N Moorpark Road	Thousand Oaks
Conejo Community Center	1175 Hendrix Avenue	Thousand Oaks
Spring Meadows Park	3283 Spring Meadow Avenue	Thousand Oaks
Conejo Creek Equestrian Park	1350 E Avenida De Las Flores	Thousand Oaks
Glenwood Park	Windsor Drive	Thousand Oaks
Thousand Oaks Library	1401 E Janss Road	Thousand Oaks
Los Robles Hospital	215 W Janss Road	Thousand Oaks

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Cluster Context Map
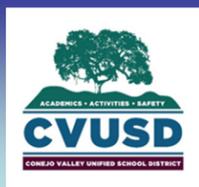
2.0

CVUSD
CONEJO VALLEY UNIFIED SCHOOL DISTRICT
ACADEMICS • ACTIVITIES • SAFETY

Acacia Elementary School I *Survey*

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Conejo Valley Unified School District

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Project Location Map

3.0

FACILITIES - CLASSROOM INVENTORY

K-12 School Facility	Grade/Type	Total # of Teaching stations	Permanent	Quality Modulars	Owned Portables	Leased Portable	Capacity	Rms Utilized	Ratio	Capacity Needed
				Number of Teaching Stations	Modulars			Projections Teaching Stations		
		As used for the 15/16 School Year						Based on 16/17		
	Jr K	1	1					1	20.00	20
K = All Day	K	3	3				60	2	22.00	40
1-3 inclds Title 1	1-3	11	11				220	7	22.00	149
4-5 inclds Music	4-5	5	4		1		150	4	30.00	111
	SDC	3	3		0			3	-3	
	LC	1	1					1	0	
	LAB	1	1		0			1	0	
Sub-Total K-5		25	24	0	1	0	430	18		320

ENROLLMENT HISTORY - 2nd Month Report

Grade	2017	2016	2015	2014	2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000	1999	1998
Jr K		20	22	21	20	22	20													
K		48	37	66	57	65	65	86	60	80	55	56	68	74	70	75	80	71	66	
1		44	51	48	55	58	69	64	75	59	56	77	67	65	74	91	76	71	66	
2		58	45	51	57	67	56	80	56	57	80	64	67	73	92	69	67	67	80	
3		50	47	46	70	55	79	54	64	80	60	66	70	91	74	66	68	89	78	
4		50	45	64	57	78	54	60	83	64	63	64	86	79	67	66	88	79	86	
5		53	63	53	79	50	65	77	64	73	67	86	82	69	68	82	83	92	77	
6									0	36	51	46	54	60	72					
Total Elem	0	323	310	349	395	395	408	421	402	413	381	413	440	487	496	495	516	529	525	0
Special Ed		15	14	13	23	32	34	37	31	33	28	34	31	36	26	24	21	30	12	
TOTAL	0	338	324	362	418	427	442	458	433	446	409	447	471	523	522	519	537	559	537	0

Forecast

Grade	Students	Teachers			2016	Primary & Upper Totals	21.50 Teacher by Ratio	30.00 Students per class	Students per class	15-16 Budget Calc	14-15 Staffing
Special Ed					9						
TK					22	22	1.00	1	22	1	1
K	66	3.07			39		1.81		22		
1	58	2.70			54	185	2.51	8.60	22	9	11
2	44	2.05			47		2.19		22		
3	49	2.28			45		2.09		22		
4	45	1.50			47	111	1.57	3.70	30	4	4
5	68	2.27			64		2.13		30		
TK - 5	330	10.09			318	318					
		3.77									
TOTAL	330	13.86			318	318	12.30			13	16

Enrollment Data:

•*For Secondary Schools*

Classrooms 800 Square Feet and greater will be considered an "Available Classroom". On the color coded survey plan they can occur as BASIC CLASSROOM (Orange); SPECIALITY CLASSROOM (Light Blue); SCIENCE (Yellow).

If the rooms are being used for instruction and they are 799 Square Feet and under, they will be considered a "Small Room", with a different Color Code. Provide a description in the keynote as to its current use.

•*For Elementary Schools*

Classrooms 720 Square Feet and greater will be considered an "Available Classroom". On the color coded survey plan they can occur as BASIC CLASSROOM (Orange); SPECIALITY CLASSROOM (Light Blue); SCIENCE (Yellow).

If the rooms are being used for instruction and they are 719 Square Feet and under, they will be considered a "Small Room", with a Different Color Code. Provide a description in the keynote as to its current use.
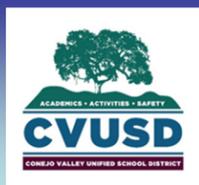
For Span and other types of Schools

Identify what age group the space is used for the majority of the day – use rules above for Secondary Schools and Elementary Schools. Provide a description in the keynote as to its current use.

CVUSD ELEM. SCHOOL — Location Code: 1 010 — Campus Summary

Site Information	Totals	Total Planned Site Capacity:	Totals
Current Useable Area:	11.35 Acres	Current Enrollment:	338
Current Playground Area:	6.5 Acres	Planning 2-Semester Capacity:	430
		Enrollment to use for Planning	320
Playground Area Required:	6.5 Acres		

Classroom Status for School:	Current Classrooms			Potential Classrooms + Current Classrooms			Classrooms Identified by the School		
	Permanent	Portable	Totals	Permanent	Portable	Totals	Permanent	Portable	Totals
Available Classrooms 800 Square Feet or greater:	20	1	21	20	1	21	20	1	21
Available Small Rooms 799 Square Feet or smaller:	4	0	4	4	0	4	4	0	4
Totals:	24	1	25	24	1	25	24	1	25

CVUSD SPECIAL EDUCATION SCHOOL — Location Code: 3000 — Campus Summary

Site Information	Totals			Total Planned Site Capacity:	Totals	
Current Useable Area:	Shared			Current Enrollment:	15	
Current Playground Area:	Shared			Estimated 2-Semester Capacity:	15	
				2015-16 Adjusted Projected Resident & Magnet Enrollment.	15	

Analysis: Current Enrollment is slightly increasing from the previous year. However, the overall trend is declining, which presents an opportunity to remove the portable buildings on site. Site and playground facilities sufficient to handle growth
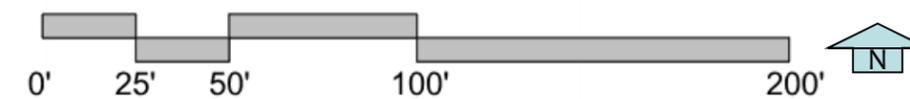
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Conejo Valley Unified School District

December 9th, 2016

Instructional & Campus Summary

CVUSD

4.0

EXISTING A.C. PAVING

SAND BOX

EXISTING GRASS

EXISTING GRASS

SAND BOX

SAND BOX

EXISTING GRASS

DOVER AVENUE

EXISTING PARKING

NORMAN AVENUE

LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- (X) BUILDING NUMBER
- ( ) PRIMARY POINT OF ENTRIES
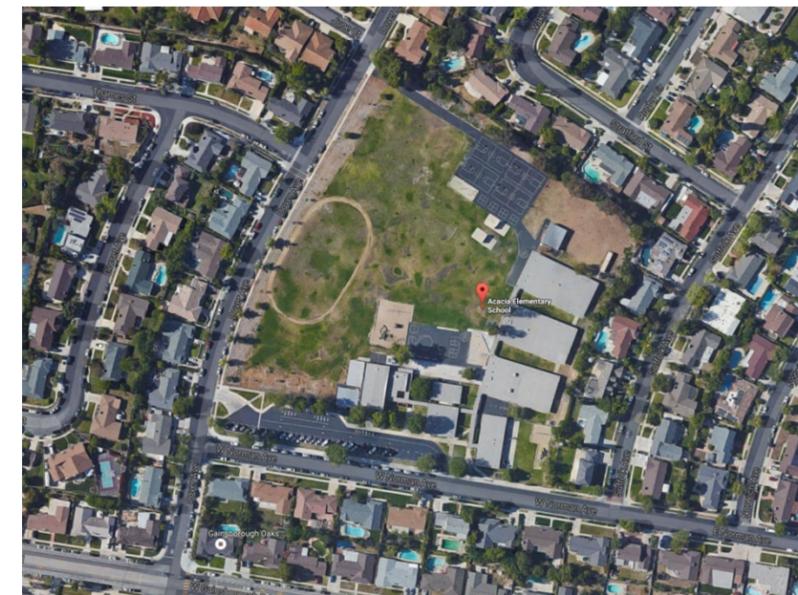
BUILDING

1- MAIN BUILDING (CLRM - OFFICE)
2- KINDERGARTEN BUILDING (CLASSROOM)
3- CLASSROOMS
4- CLASSROOMS
5- CLASSROOMS
6- ADMINISTRATION AND CLASSROOM
7- MULTI PURPOSE BUILDING
8- LUNCH SHELTER
9- TWO/THREE UNIT RELOCATABLE
10-TWO/THREE UNIT RELOCATABLE

EXISTING SITE PLAN | **ACACIA ELEMENTARY SCHOOL**
PERMANENT AND PORTABLE BUILDINGS

0'   25'   50'   100'   200'   N

CVUSD
ACADEMICS • ACTIVITIES • SAFETY
CONEJO VALLEY UNIFIED SCHOOL DISTRICT

5.1

School District Building Name	Building Rating Classification	Square Footage	Fire Const. Code	Fire Const. Type	Sprinkler Yes/No	Fire Yes/No	Alarm Local/Central	Roof Type	Year Built	Roof	Year Renovated HVAC	Elec.	Plumb	Status	Flood Risk	Zone Code	Map Date
1 - Administration	Elementary	2,071	4	Masonry Non-Combustible	No	Yes	L	Composition	1963	1984	2000	1999	2004	Owned and occupied by the district	NS	X	1/20/2010
2 - Kindergarten	Elementary	3,008	4	Masonry Non-Combustible	No	Yes	L	Composition	1963	2006	2000	1999	2004	Owned and occupied by the district	NS	X	1/20/2010
3 - Classrooms	Elementary	8,064	4	Masonry Non-Combustible	No	Yes	L	Composition	1963	1989	1999	1999	2004	Owned and occupied by the district	NS	X	1/20/2010
4 - Classrooms	Elementary	8,064	4	Masonry Non-Combustible	No	Yes	L	Composition	1963	1989	1999	1999	2004	Owned and occupied by the district	NS	X	1/20/2010
5 - Classrooms	Elementary	8,064	4	Masonry Non-Combustible	No	Yes	L	Composition	1963	1997	1999	1999	2004	Owned and occupied by the district	NS	X	1/20/2010
6 - Teachers Lounge	Elementary	960	4	Masonry Non-Combustible	No	Yes	L	Composition	1963	1984	2000	1999	2004	Owned and occupied by the district	NS	X	1/20/2010
7 - Multipurpose	Elementary	6,095	4	Masonry Non-Combustible	No	Yes	L	Composition	1963	2007	2000	1999	2004	Owned and occupied by the district	NS	X	1/20/2010
9 - Child Care	Portable	1,440	5	Modified Fire Resistive	No	Yes	L	Metal	1996	1996	1996	1996	1996	Owned and occupied by the district	NS	X	1/20/2010
10 - Classrooms	Portable	1,440	5	Modified Fire Resistive	No	Yes	L	Metal	2004	1989	2004	2004	2004	Owned and occupied by the district	NS	X	1/20/2010

Existing Facilities:
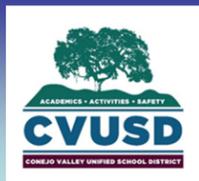
7 Number of buildings are over 50 years old
3 Number of buildings are over 10 years old

Analysis Summary:
Overall condition of the buildings is acceptable. Some minor maintenance issues are throughout the site. However there is a concrete slab settling issue occurring in the multi purpose building that is causing cracks in the floor and walls. In addition the settling issue continues on the exterior walkways around the same location. Further investigation should be undertaken.

The site has sufficient classroom space and 4 portable buildings on site which are already over 10 years old and showing some water damage at the base of the building in a few locations.

The interior finishes are in overall fair condition, some replacement of flooring and ceiling tiles would improve the overall experience in the classrooms.

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Existing Campus Building Data

5.2

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DOVER AVENUE

EXISTING A.C. PAVING

SAND BOX

EXISTING GRASS

EXISTING GRASS

SAND BOX

SAND BOX

EXISTING GRASS

EXISTING PARKING

NORMAN AVENUE

LEGEND

- PRIMARY POINT OF ENTRIES
- ADMINISTRATION
- CHILD CARE
- CLASSROOM
- FOOD SERVICES
- KINDERGARTEN
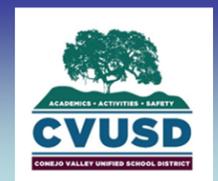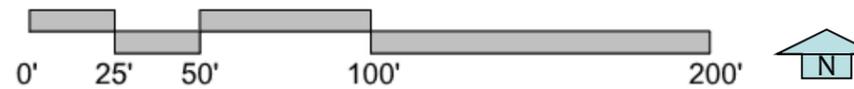- LIBRARY
- MULTI PURPOSE
- MUSIC
- SUPPORT SPACES

SITE IMPROVEMENT KEY NOTES

1. DRAINAGE AND CONCRETE SETTLEMENT ISSUES
2. DRAINAGE ISSUES AND PONDING, LOCATION NEED TO BE REWORKED
3. BREEZEWAY CONVERTED TO CLASSROOM WINDOWS ARE MISSING SETTING BLOCK AND HAVE LARGE GAPS
4. SLOPE OF GROUND TOO STEEP FOR WHEELCHAIR ACCESS TO PLAYGROUND
5. MAJOR ACCESS POINT TO SCHOOL NOT ACCESSIBLE. NEED TO CHANGE GATE ORIENTATION
6. CONCRETE SLAB SETTLEMENT AND VISIBLE CRACKING IN SLAB AND WALLS
7. CONCRETE WALKWAY SETTLEMENT ISSUES
8. PRIMARY OPORTUNITY LOCATION: REMOVE WALL AND RE-DESIGN ENTRANCE

SITE IMPROVEMENT GENERAL NOTES

- OLDER CLASSROOMS WILL NEED ACCESSIBILITY UPGRADES ON HARDWARE THRESHOLDS AND SINKS
- EXTERIOR DRINKING FOUNTAINS WILL NEED TO BE MADE ACCESSIBLE
- PLAYGROUNDS WILL NEED ACCESSIBILITY UPGRADES FALL PROTECTIVE SURFACES
- ACCESSIBILITY UPGRADES NEEDED IN PARKING, GATE LOCATIONS, DOORS, AND SOME PATHWAYS

EXISTING SITE PLAN | ACACIA ELEMENTARY SCHOOL
BUILDING USE

0'   25'   50'   100'   200'

N

Acacia Elementary School I *Survey*

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December 9th, 2016

6.0

CVUSD

EXISTING A.C. PAVING

SAND BOX

EXISTING GRASS

EXISTING GRASS

SAND BOX

SAND BOX

EXISTING GRASS

DOVER AVENUE
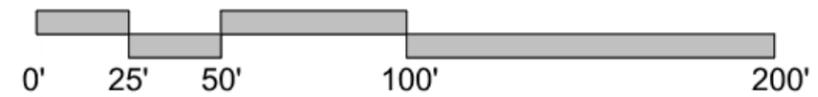
EXISTING PARKING

NORMAN AVENUE

LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- (X) BUILDING NUMBER
- PRIMARY POINT OF ENTRIES
- X IMAGE REFERENCE

BUILDING

1- MAIN BUILDING (CLRM - OFFICE)
2- KINDERGARTEN BUILDING (CLASSROOM)
3- CLASSROOMS
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EXISTING SITE PLAN | **ACACIA ELEMENTARY SCHOOL**
PERMANENT AND PORTABLE BUILDINGS

0'   25'   50'   100'   200'

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Existing Campus Image Key Map

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Photo - 1

Administration Building: Building 1

Administration building is made of brick masonry construction with a planar roof condition.

Photo - 2

Typical Classroom Building Facade

Typical classroom façade has a primary brick structure with a large glazing system between support walls

Photo - 3

Typical Classroom Building Facade

Typical classroom façade has a primary brick structure with a clearstory glazing system between support walls

Photo -4

Portable Classroom: Building 6

Typical portable classroom with no water hook up.
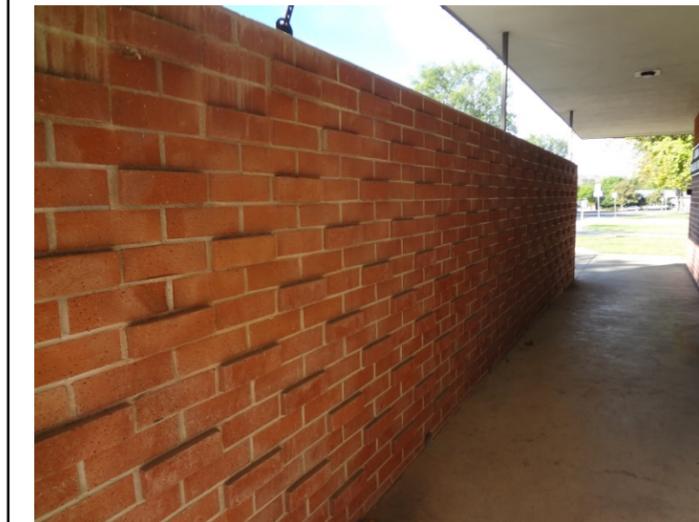
Photo -5

Multi Purpose Building: Building 7

Brick Masonry construction with no windows besides doorway windows

Photo -6

Administration Front Wall: Building 1

Primary area of desired chanced to remove existing wall in the front of the administration building

Photo -7

Typical Exterior Drink Fountain:

Original drinking fountain needing to be upgraded for accessibility

Photo -8

Typical Door Threshold

Older door threshold no longer accessible by todays accessibility standards

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Existing Campus Images

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CVUSD

Photo -9

Main Entry Concrete Settlement:

Concrete sidewalk is cracking and sinking throughout campus but is especially bad at the main point of entry for the school

Photo -10

Multi Purpose Building: Building 7

Building Settlement is causing cracking in the walls and concrete floors

Photo -11

Playground Equipment:

Existing playground equipment with sand fall protection and CMU wall around perimeter.

Photo -12

Concrete Settlement at Drainage Areas:

Concrete path is settling in the parking lot where the main drainage from the site is located

Photo -13

Main Entry Concrete Settlement:

Concrete sidewalk is cracking and sinking throughout campus but is especially bad at the main point of entry for the school

Photo -14

Multi Purpose Building: Building 7

Building Settlement is causing cracking in the walls and concrete floors

Photo -15

Playground Equipment

Existing playground equipment with sand fall protection and CMU wall around perimeter.

Photo -16

Administration Building: Building 1

Current Fencing is old and at entry to campus in need of replacement.

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Conejo Valley Unified School District

December 9th, 2016

Existing Campus Images

7.2

Photo -17

Alternate Point of Entry :

Long A.C. Paving walkway from alternate entry location.

Photo -18

Covered Walkway: Building 7

Covered walkways are in good condition and have wonderful site work and foliage

Photo -19

Playground Playfield:

Large open field, issues with goffers which has created hazards in the field

Photo -20

Exterior Garden Area:

Landscaped area behind portable building 6

Photo -21

Alternate Point of Entry Gate:

Slope at pedestrian gate location is too steep. Gate should be reversed to other side where slope would be within the tolerance for accessibility standards

Photo -22

Covered Walkway: Building 7

Covered walkways are in good condition and have wonderful site work and foliage

Photo -23

Playground Concrete Area:

Existing concrete playground area with settlement issues.

Photo -24

Kindergarten Playground Area:

Exterior playground equipment with sand for fall protection and a CMU brick perimeter wall.

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Conejo Valley Unified School District

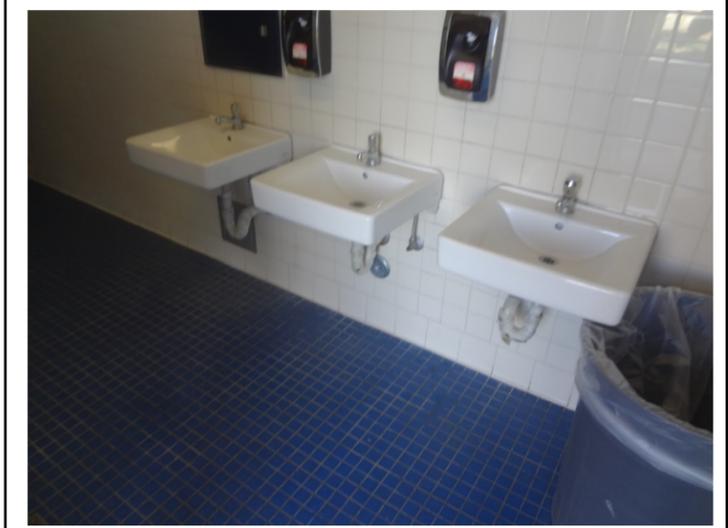December 9th, 2016

Existing Campus Images

7.3

CVUSD

Photo -25

Typical Updated Classroom: Building 3

Typical classroom that has already been updated has newer carpet, casework and updated accessible sink

Photo -26

Typical Original Classroom: Building 3

Typical classroom in original condition. Carpets and finishes in decent condition sinks are not accessible.

Photo -27

Kindergarten Classroom: Building 2

Typical kindergarten classroom in good condition, finishes in decent condition, bathrooms and sinks are accessible

Photo -28

Typical Boys and Girls Bathroom:

Bathrooms in good condition with updated accessible fixtures

Photo -29

Typical Updated Classroom: Building 3

Typical classroom that has already been updated has newer carpet, casework and updated accessible sink
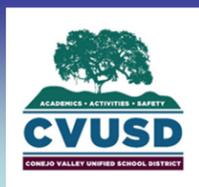

Photo -30

Typical Original Classroom: Building 3

Typical classroom in original condition. Carpets and finishes in decent condition sinks are not accessible.

Photo -31

Kindergarten Classroom: Building 2

Typical kindergarten classroom in good condition, finishes in decent condition, bathrooms and sinks are accessible

Photo -32

Typical Boys and Girls Bathroom:

Bathrooms in good condition with updated accessible fixtures

55 W Norman Ave I Thousand Oaks, CA 91360

Conejo Valley Unified School District

December 9th, 2016

Existing Campus Images

CVUSD

7.4

Acacia Elementary School
Enrichment Model

The enrichment model that Acacia elementary school has integrated into their curriculum is an exceptional program that offers students an opportunity to have a far more dynamic learning environment then traditional curriculums have offered in the past.

This program engages a students creativity while at the same time encouraging learning. One of the more difficult obstacles to overcome when dealing especially with young children in the education system is focus and absorption of particular educational topics. This model is very effective at getting a students engagement to increase and that can lead to a greater absorption of the educational material.

Overall the enrichment model at Acacia school offers an exceptional precedent to other schools and curriculum options that are being explored throughout the district as well as in the educational system throughout the country as a whole.

LEGEND
- CERTIFIED
- NOT CERTIFIED
- SAND BOX PLAY AREA
- (X) BUILDING NUMBER
- PRIMARY POINT OF ENTRIES

BUILDING

1- MAIN BUILDING (CLRM - OFFICE)
2- KINDERGARTEN BUILDING (CLASSROOM)
3- CLASSROOMS
4- CLASSROOMS
5- CLASSROOMS
6- ADMINISTRATION AND CLASSROOM
7- MULTI PURPOSE BUILDING
8- LUNCH SHELTER
9- TWO/THREE UNIT RELOCATABLE
10-TWO/THREE UNIT RELOCATABLE

EXISTING A.C. PAVING

SAND BOX

EXISTING GRASS

EXISTING GRASS

SAND BOX

SAND BOX

EXISTING GRASS

DOVER AVENUE

EXISTING PARKING

NORMAN AVENUE

EXISTING SITE PLAN | **ACACIA ELEMENTARY SCHOOL**
DSA CERTIFICATION REQUIREMENTS

0' 25' 50' 100' 200'

N

Acacia Elementary School I *Survey*
55 W Norman Ave I Thousand Oaks, CA 91360
Conejo Valley Unified School District
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Facility Certification Requirements

9.0

CVUSD
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CONEJO VALLEY UNIFIED SCHOOL DISTRICT

ACACIA ELEMENTARY SCHOOL

STRATFORD ST.

DOVER AVE.

SUFFOLK AVE.

W. NORMAN AVE.

LEGEND

- ■ PERMANENT
- ■ PORTABLE
- □ SAND BOX PLAY AREA
- (X) BUILDING NUMBER
- ◯ PRIMARY POINT OF EN

BUILDING _____

1- MAIN BUILDING (CLRM - OFFICE)
2- KINDERGARTEN BUILDING (CLASSROOM)
3- CLASSROOMS
4- CLASSROOMS
5- CLASSROOMS
6- ADMINISTRATION AND CLASSROOM
7- MULTI PURPOSE BUILDING
8- LUNCH SHELTER
9- TWO/THREE UNIT RELOCATABLE
10-TWO/THREE UNIT RELOCATABLE

Site Challenges:

In its current condition, CVUSD Acacia Elementary School faces many challenges, the most pressing of which are directly related to aging buildings systems and concrete slab settlement issues. Which are present in the multi purpose building as well as throughout the rest of the campus with the concrete pathways settlement resulting in tripping hazards. Enrollment at this school has increased but the current and projected student population is still far below the maximum capacity of the campus which means that additional classroom space is not needed at the moment.

Other significant challenges come in the form of maintenance and modernization needs. Such challenges include systemic site drainage issues near the main entrance, ADA accessibility upgrades to the main administration / auditorium / classroom buildings, accessibility upgrades to site/building drinking fountains and accessibility upgrades to access gates and building signage.

Site Modernization Opportunities:

Campus improvement opportunities as follows:

Modernization consists of projects targeted at improving the educational environment of classrooms and academic spaces, and is developed around improving the overall condition and appearance of classrooms in permanent and portable facilities. The majority of the work is targeted at improving the concrete settlement and site work issues throughout the campus. The primary concerns of the principal and staff are the correction of the settlement issues as well as the removal of the brick wall blocking view of the parking from the administration building.

The remaining improvements are primarily maintenance related with the exception for the need of new playground equipment. The current playground equipment is over 20 years old and is in need of replacement. Shade structures over the playground area will also provide an area for the students to enjoy the exterior playground environment without feeling the intense heat during the peak hours of the day.

In addition, the need for an improved entry to the school is imperative. The current entry locations are through an old outdated gate and fencing that currently accessibility issues due to pathway slopes or settling of the concrete. Improvements targeted at accessibility are to bring the campus to full compliance with current accessibility standards. Some of these improvements included new site and building signage, replacement of non-accessible door hardware, upgrade of student restrooms to include accessible stalls and fixtures and accessible entries to portable buildings.

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Site Challenges & Proposed Site Modernization Summary

10.0

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CONEJO VALLEY UNIFIED SCHOOL DISTRICT
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Image 1: Main Drop off Location in Parking Lot

Image 2: Secondary Drop off Location Through North Gate Location

— — — Access during start and finish only

· · · · · Access during school hours

BUILDING

1- MAIN BUILDING (CLRM - OFFICE)
2- KINDERGARTEN BUILDING (CLASSROOM)
3- CLASSROOMS
4- CLASSROOMS
5- CLASSROOMS
6- ADMINISTRATION AND CLASSROOM
7- MULTI PURPOSE BUILDING
8- LUNCH SHELTER
9- TWO/THREE UNIT RELOCATABLE
10-TWO/THREE UNIT RELOCATABLE

Drop Off

Secondary Path of Travel

EXISTING A.C. PAVING

SAND BOX

6

EXISTING GRASS

5

EXISTING GRASS

4

SAND BOX

SAND BOX

3

8   7   6

9   Primary Path of Travel

1   2   EXISTING GRASS

DOVER AVENUE

EXISTING PARKING   Drop Off

NORMAN AVENUE

Circulation Diagram

N

Acacia Elementary School I *Survey*

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Drop-off Points and Circulation

10.1

Photo -1
Most of the classroom sinks have not been upgraded to current accessibility standards

Photo -2
Concrete slab settlement throughout the site is causing accessibility issues and tripping hazards

Photo -3
The building does not have current accessibility compliant thresholds

Photo -4
Faculty sinks are not current with accessibility standards

LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- (X) BUILDING NUMBER
- PRIMARY POINT OF ENTRIES
- (X) IMAGE REFERENCE

BUILDING

1- MAIN BUILDING (CLRM - OFFICE)
6- ADMINISTRATION AND CLASSROOM
7- MULTI PURPOSE BUILDING
8- LUNCH SHELTER
9- TWO/THREE UNIT RELOCATABLE

EXISTING A.C. PAVING

SAND BOX

EXISTING GRASS

EXISTING GRASS

EXISTING GRASS

EXISTING PARKING

DOVER AVENUE

NORMAN AVENUE

N

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Facility Accessibility

10.2

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Energy Use Summary:

Currently the largest energy demand is the electrical use to power the HVAC system. The campus has received a LED lighting upgrade along with occupancy censors to improve the efficiency of the lighting system. However improvements can still be made when the HVAC system is replaced to improve the efficiency of the overall system. In addition to this there is solar power generation opportunities on the site due to the dry climate and ample sun and roof exposure.

[ACACIA_1] Acacia						
Electric	5,737	KWH	$4,759	$1,807	$2,952	62.0%
Natural Gas	16	THERM	$236	$53	$183	77.7%
Water	772	CCF	$2,691	$4,704	$(2,014)	(74.9%)
Totals:	**21**	**MMBTU**	**$7,685**	**$6,564**	**$1,122**	**14.6%**

Place: [ACACIA_1]   Acacia
, , 91362

Place Energy Profile — Use in kWh
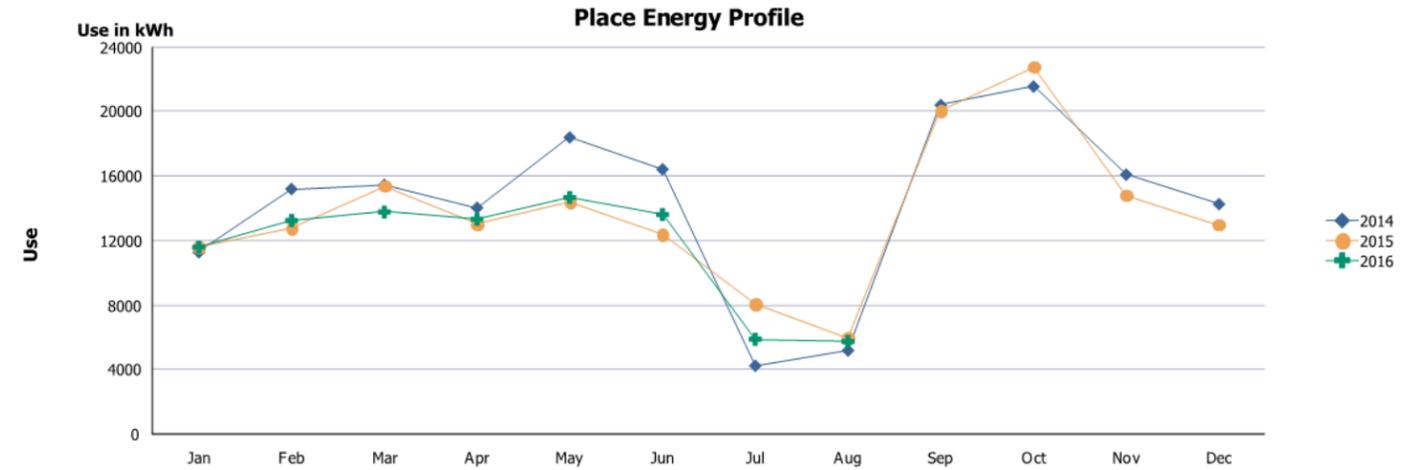
Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Totals
2014	11,274	15,191	15,449	14,032	18,396	16,416	4,243	5,189	20,396	21,546	16,086	14,257	172,475
2015	11,580	12,751	15,383	13,012	14,396	12,384	8,087	5,960	20,036	22,761	14,806	12,985	164,141
2016	11,576	13,238	13,772	13,324	14,671	13,612	5,885	5,737	0	0	0	0	91,815
Totals	34,430	41,180	44,604	40,368	47,463	42,412	18,215	16,886	40,432	44,307	30,892	27,242	428,431

Electrical:

Place: [ACACIA_1]   Acacia
, , 91362

Place Energy Profile — Use in THERM

Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Totals
2014	235	135	106	59	66	78	23	56	61	50	64	142	1,075
2015	153	126	100	37	43	7	7	9	20	30	145	185	862
2016	321	62	66	46	42	11	5	16	0	0	0	0	569
Totals	709	323	272	142	151	96	35	81	81	80	209	327	2,506

Gas:

Place: [ACACIA_1]   Acacia
, , 91362

Place Energy Profile — Use in Kgal
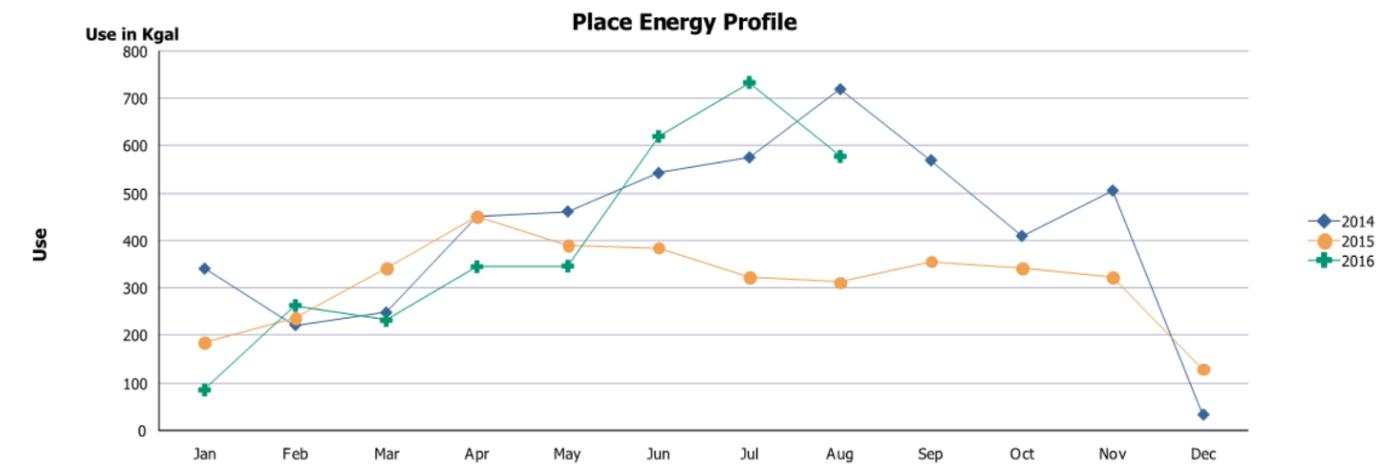
Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Totals
2014	341	222	248	450	462	542	575	719	569	410	506	34	5,079
2015	186	237	342	451	390	385	324	312	356	343	323	129	3,778
2016	85	263	232	345	346	619	733	578	0	0	0	0	3,202
Totals	612	723	822	1,246	1,198	1,547	1,632	1,608	925	753	829	163	12,059

Water:

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Energy Use

11.0

CVUSD

Core Facilities

Item	Category	Existing Square Footage	Standard Square Footage Based on Planning 2- Semester Capacity
1	Food Prep & Serving Areas	1,080 Square Feet	
2	Indoor Dining	2,700 Square Feet	
3	Lunch Shelter	720 Square Feet	
4	Multi Purpose/Assembly/Auditorium	3,359 Square Feet	
5	Library	1,216 Square Feet	
6	Administration	2,071 Square Feet * (Office Square Footage)	
7	Gymnasium Building	NA	
8	Playground	6.5 Acres	
9	Parking	30 Stalls	

*(Office Square Footage)

This calculation includes the Front Office/Main Office; Waiting Room/Space; Conference Room; Administrative Offices.

Core Facilities Summary

1. Food Prep & Serving Areas

The Food Prep area is currently smaller then the standard for a elementary school but it is functional for a warming facility only.

2. Indoor Dining

The site has an indoor dining area which is also the multi purpose space, but it is only used on rainy days as dining.

3. Lunch Shelter

A new Lunch Shelter was added to the outside the existing Multi Purpose Building in 1996.

4. Multi Purpose/Assembly/Auditorium

The school has a large multi purpose space with a stage. The space is used for assemblies both school and extra curricular periodically throughout the month. The multipurpose building is showing settling cracks in the concrete floors and walls however the rest of the space is in good condition.

5. Library

The Library is a repurposed portion of the classroom buildings that was not certified through DSA and has some quality of construction issues with the windows not being built correctly. The overall space is adequate for the school and it also has a large maker space included

6. Administration

Administration space is adequate for the schools needs and is in overall good condition. Some minor accessibility issues at the thresholds are present. The primary concern of the principal and staff is the removal of the large brick wall in the front of the administration building because it blocks all line of sight to the parking lot and makes finding the entrance to the office difficult.

7. Gymnasium Building

There is no gym building on this campus.

8. Playground

There is a large playground, but it is having goffer hole issues. The play equipment is around 20 years old and is a desired improvement area.

9. Parking

The parking spaces are sufficient for the schools needs

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Core Facilities Data

12.0

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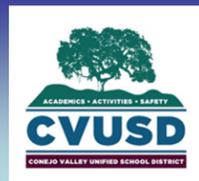
Technology Summary:

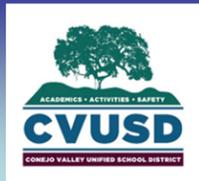**Acacia:** The network infrastructure has been upgraded to meet current and future needs. Each building that has an IDF is connected to the MDF via 12 strands of single mode fiber. Every classroom has two locations with two CAT6 A cables along the wall and four cables in the ceiling. A 12 port switch is installed in each classroom to accommodate additional computers. All other instructional and office spaces have newly installed CAT6 A cables. Wireless access points have been installed in all indoor instructional and office spaces in a micro-cell arrangement to ensure the ability to support a 1 to 1 student to device rollout. Outdoor wireless coverage is currently being evaluated. Switch gear that support a 10Gbps backbone and 1Gbps Power Over Ethernet connections is installed in every IDF and MDF. The current speed of the backbone is limited to 1Gbps but can be increased with new fiber optic transceivers.

Room Name	Computer	Quantity	Projector Model	Smartboard Model	Printer Model	Document Reader
Kindergarten	Lenovo M93P		BoxLight Dallas WX31NXT	ActivBoard 587Pro	Dell Color Laser 3110	AverMedia CP130
Kindergarten	Dell OP 760	5				
Kindergarten	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP OfficeJet x451	Epson TT-12
Kindergarten	Dell OP 760	2				
Kindergarten	Dell OP 745	6				
Classroom	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP OfficeJet x451	AverMedia CP130
Classroom	Dell OP 760	3				
Classroom	Dell OP 745	5				
Classroom	Dell OP 3010		Epson Powerlite 83+		HP LaserJet 4200	
Classroom	Lenovo M93P		BoxLight Dallas WX31NXT	ActivBoard 587Pro	HP LaserJet P2055	AverMedia CP130
Classroom	Dell OP 760	6				
Classroom	Dell OP 760		BoxLight Dallas WX31NXT	ActivBoard 587Pro	HP LaserJet P2055	HoverCam
Classroom	Dell OP 760	5				
Classroom	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP LaserJet P2055	AverMedia CP150
Classroom	Dell OP 760	3				
Classroom	Dell OP 745	5				
Classroom	Dell OP 980	40	Epson PowerLite 83+		Xerox Phaser 3320	
Classroom	Lenovo M93P		BoxLight Dallas WX31NXT	ActivBoard 587Pro	HP LaserJet P2055	AverMedia CP130
Classroom	Dell OP 760	5				
Classroom	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP LaserJet P2055	AverMedia CP130
Classroom	Dell OP 760	5				
Classroom	Lenovo M93P		BoxLight Dallas WX31NXT	ActivBoard 587Pro	HP LaserJet P2055	AverMedia CP130
Classroom	Dell OP 760	5				
Classroom	Lenovo M93P		Epson Powerlite 83+		HP LaserJet P2055	AverMedia CP130
Classroom	Dell OP 760					
Classroom	Dell OP 380	3				
Classroom	Lenovo M93P		BoxLight Dallas WX31NXT	ActivBoard 587Pro	HP LaserJet P2055	AverMedia CP130
Classroom	Dell OP 760	5				
Classroom	Lenovo M93P		EpsonPowerLite 475W	ActivBoard 587Pro	HP LaserJet P2055	AverMedia CP130
Classroom	Dell OP 760	5				
Classroom	Chromebook N22	25				
Classroom	Lenovo M93P		Epson PowerLite 83+		Dell Color LaserJet 5010	
Classroom	Dell OP 760	2				
Classroom	Dell OP 380	3				
Classroom	Dell OP 3010		Epson PowerLite 83+		HP LaserJet P2055	Epson TT-02
Classroom	Dell OP 3010	53	Epson PowerLite 84		HP LaserJet P2055	
Classroom	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP LaserJet P2055	Epson TT-12
Classroom	Dell OP 760	5				
Classroom	Dell OP 740					
Classroom	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP OfficeJet x451	Epson TT-12
Classroom	Dell OP 380	2				
Classroom	Dell OP 760	3				
Library	Dell OP 760				Brother DCP8010	
Library	Dell OP 740	4				
Classroom	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP OfficeJet 8600	AverMedia CP130
Classroom	Dell OP 760	4				
Classroom	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP LaserJet M401	AverMedia CP130
Classroom	Dell OP 760	3				
Classroom	Dell OP 760		Epson PowerLite 475W	ActivBoard 587Pro	Dell LaserJet 2330	AverMedia CP130
	Dell OP 760	4				
Classroom	Lenovo M93P		BoxLight Dallas WX31NXT	ActivBoard 587Pro	HP LaserJet P2055	
Classroom	SurfacePro3					
Classroom	Dell OP 760	3				
Classroom	Chromebook N21	40				
Classroom	Lenovo M93P		Epson PowerLite 475W	ActivBoard 587Pro	HP OfficeJet x451	AverMedia CP130
Classroom	Dell OP 760	3				
Classroom	Chromebook N21	30				

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Campus Technology

13.0

Observations Summary:

Acacia Elementary School is one of the few schools in Conejo Valley Unified School District that is reaching a stop of declining enrollment as of 2016. The facility is in decent condition with exception of the ground settlement issues and the overall age of the campus.

The biggest desired improvement from the faculty at Acacia Elementary is the removal of the large brick wall in the front of the school. Some safety concerns have been raised as well about the brick façade throughout the rest of the school, due to the fact that the walls have protruding bricks that kids will climb. There is evidence of kids getting onto the roof of the walkways by climbing the brick walls. In addition, the concrete slab settlement that is occurring throughout the campus but primarily located in the Multi Purpose Building location must be investigated further.

Basic accessibility upgrades must be made in conjunction with the concrete slab settlement correction throughout the campus. With playground equipment being 20 years old, upgrading the equipment and providing adequate shade is a desired area for improvement that has been voiced by both the principal as well as the parents of the students. This would also include improving the fall protection and making the playground areas accessible.

The school has a very diverse student population with a rough breakdown of 40 percent Caucasian, 50 percent Hispanic, 10 percent other minorities. The schools enrichment model is one of the major drivers that is contributing to the school being one of the few that is increasing enrollment. This enrichment model gives students a more dynamic and intellectually stimulating environment, which will yield a more comprehensive absorption of the educational material as well as increase the enjoyment of the students.

Overall the facility is well maintained and in working condition. The HVAC while still operating with minimal maintenance issues is still very old and will need to be updated and replaced within the next 10 years. Thanks to the current LED lighting upgrades well maintained HVAC and occupancy sensors the school is already on a path to being my energy efficient.

Addressing the largest improvement area voiced by the faculty of removing the brick wall in the front of the school, will yield a completely different school approach as well as create an opportunity for a dramatic and aesthetically appealing upgrade to an older outdated architectural design. This will create a contemporary look to match a progressive and impressive curriculum program making Acacia Elementary School an innovative and contemporary educational institution model.

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Project Requests

14.0